



LEGEND

	PROPERTY LINE
	DISTURBED AREA LIMITS
35	PROPOSED CONTOUR
	TEMPORARY SILT FENCE
so so	PROPOSED STORMDRAIN PIPE
8W	PROPOSED WATERLINE
ss	PROPOSED SANITARY SEWER
41.35	PROPOSED SPOT ELEVATION FLOW LINE
41.85	PROPOSED SPOT ELEVATION TOP OF CURB
	PROPOSED SPOT ELEVATION FINISH GRADE
	FLARED END SECTION WITH RIP-RAP ENERGY DISSIPATOR
	DROP INLET WITH INLET PROTECTION (DI)
	CURB INLET WITH INLET PROTECTION (CI)
③	JUNCTION BOX WITH INLET PROTECTION (JB)
†	PROPOSED FIRE HYDRANT
49	EXISTING CONTOUR
13"PINE	EXISTING TREE TO BE SAVED
 13"PINE	EXISTING TREE TO BE REMOVED
- IP IP IP IP IP IP	TREE PROTECTION FENCING
	ASPHALT
	CONCRETE

Unit Types	1BR/1BA	1BR/1BA	1BR/1BA	1BR/1BA	1BR/1BA	1BR/1BA	2BR/2BA	2BR/2BA	2BR/2BA	2BR/2BA	Non-
Unit Key	A1	A2	АЗ	A3-ACC	A4	A5	81	B1-ACC	82	В3	Rentable Units
*HUD NSF:	710	714	781	778	747	724	1,027	1,027	1,137	1,027	

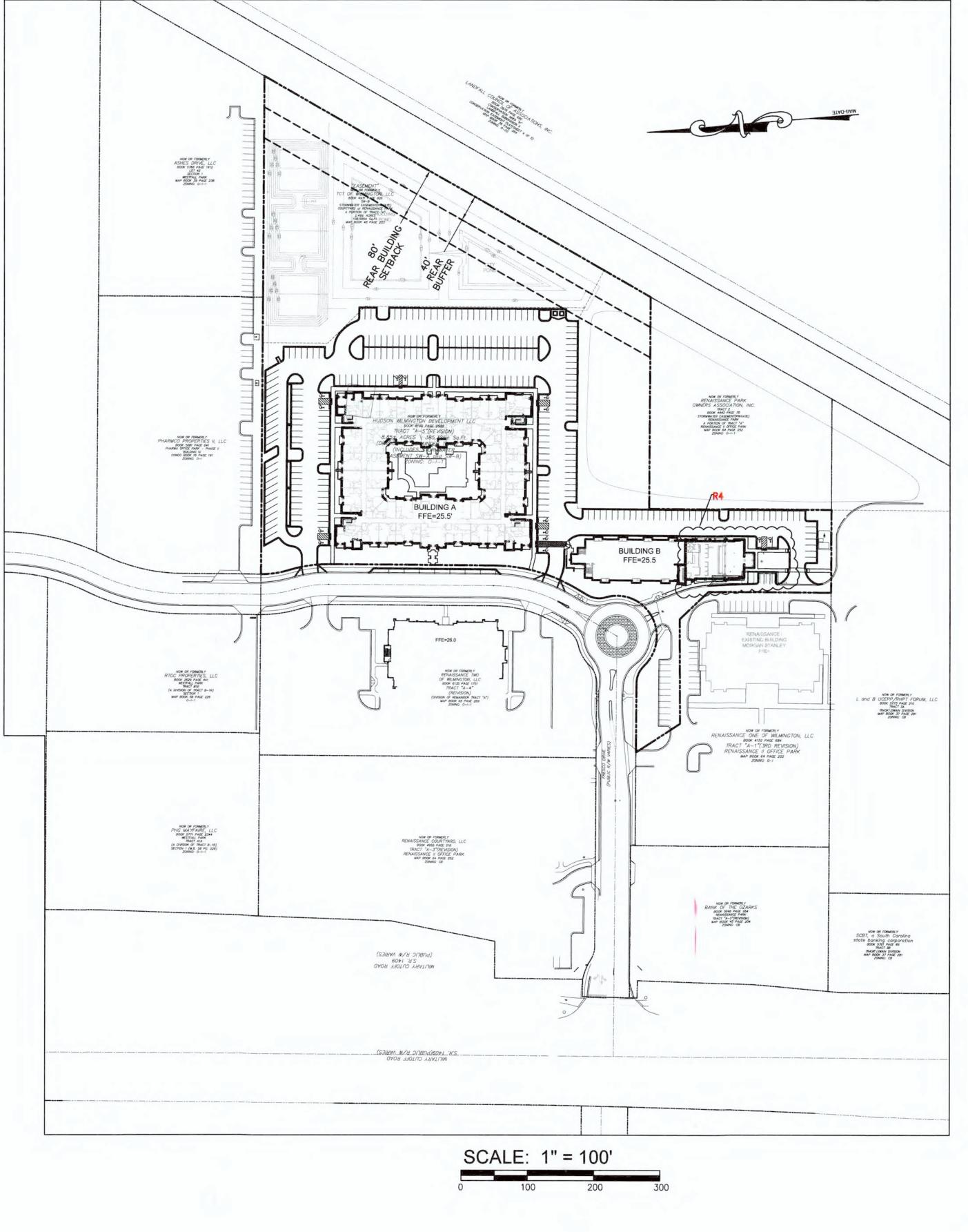
UNIT MIX SUMMARY

Offic Typies	1BR/18.	A IBK/IBA	IBK/IBA	18K/18A	1BK/1BA	IBK/IBA	ZBR/ZBA	ZBR/ZBA	ZBK/ZBA	ZDR/ZDA	Rentable	
Unit Key	A1	A2	АЗ	A3-ACC	A4	A5	B1	B1-ACC	B2	В3	Units	Totals
*HUD I	NSF: 710	714	781	778	747	724	1,027	1,027	1,137	1,027		
**HUD	GSF: 765	774	842	842	807	791	1,101	1,101	1,210	1,102		
Units in Building A												
Level 4	12	8	4	0	0	0	16	0	4	0	0	44
Level 3	12	8	4	0	0	0	16	0	4	0	0	44
Level 2	12	8	4	0	0	0	16	0	4	0	0	44
Level 1	12	8	0	4	0	1	5	4	4	0	0	38
To	tals: 48	32	12	4	0	1	53	4	16	0	0	170
Total I	NSF: 34,080	22,848	9,372	3,112	0	724	54,431	4,108	18,192	0	0	146,86
Total	35F: 36,720	24,768	10,104	3,368	0	791	58,353	4,404	19,360	0	0	157,86
Units Building B		1					-					
Level 4	0	0	0	0	1	0	4	0	0	2		7
Level 3	0	0	0	0	1	0	4	0	0	2		7
Level 2	0	0	0	0	1	0	4	0	0	2		7
Level 1	0	0	0	0	1	0	2	2	0	2		7
To	tals: 0	0	0	0	4	0	14	2	0	8	0	28
Total I	VSF: 0	0	0	0	2,988	0	14,378	2,054	0	8,216	0	27,63
Total	SSF: 0	0	0	0	3,228	0	15,414	2,202	0	8,816	0	29,66
Total Unit NSF Are	eas:	-										174,50
Total Unit GSF Are	eas:											187,52
Total Residential Un	nits: 48	32	12	4	4	1	67	6	16	8	0	198
Residential Unit % I	Mix: 24.24%	16.16%	6.06%	2.02%	2.02%	0.51%	33.84%	3.03%	8.08%	4.04%	0.00%	100.00
Mobility & Audio	Visual Ac	essibilit	y Units									
Mobility							AV					
Unit Type	Total Units	5% of Total	Actual Num of	Units Assigned			Unit Type	Total Units	2% of Total	Actual Num of	Units Assigned	
1 BR	101		4	A114, A116,	A140, A142		1 BR	101		2	A107, A147	7
2 BR	97		6	A111, A117,	A137, A143,	B101, B107	2 BR	97		2	A130, B102	2
	198	10	10					198	4	4		
Building Gross Fl	oor Areas*	9.8					Amenity	Floor Area	as			
	1st Flr.	2nd Flr	3rd Flr	4th Fir	Total				NSF*	GSF**		
Buildir	ng A 53,714	53,738	53,738	53,738	214,929		1	easing Office	2054	2,197.00		
Buildir	ng B 9,849	9,849	9,849	9,849	39,397			Clubroom	1019	1,096.00		
R4 Restaur	ant 3,406							Exercise	1022	1,096.00		
					254,326			Pool Lounge	1020	1,096.00		
					3,406		1	Mail	678	726.00		

257,732

Trash 378 438.00

Totals 6,171 11,540



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy

and/or project acceptance. NCDENR PWSS WATER PERMIT #: WATER CAPACITY: DWQ SEWER PERMIT #: SEWER CAPACITY: SEWER SHED # AND PLANT: SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE **Approved Construction Plan** MODIFICATION Date: 12/7/21 # 2019065

SWP #: 2020023R1

PO, CW, ES, MB, BM

Public Services • Engineering Division APPROVED STORMWATER MANAGEMENT PLAN

Renaissance Apartments IMPERVIOUS AREAS Project Area: 385325 SF Impervious Area

SITE DATA TABLE

315819.50.1064.000

8.85 ACRES (385,325 SF)

1025 ASHES DRIVE

MINIMUM REAR SETBACK: 80' BUILDING A / 20' BUILDING B MINIMUM INTERIOR SIDE SETBACK: 10

R05100-003-065-000 HUDSON WILMINGTON DEVELOPMENT LLC

O&I-1 (CDMU) OFFICE AND INSTITUTIONAL

WATERSHED RESOURCE PROTECTION AREA

PROPOSED SETBACKS BLDG. B

BUILDING HEIGHT: 46'-10"/16'

15,146 SF 42,803 SF 46'-10" (4 STORY)/16' (1 STORY)

FRONT SETBACK: 20'

REAR SETBACK: 43'

SIDE NORTH: 475'

SIDE SOUTH: 116'

53,700 SF 214,929 SF 46'-10" (4 STORY)

GSF

10TAL 170

MAX.: 1 PER 2.5 SEATS OR 1 PER 65 SQ FT GFA EXCLUSIVE OF KITCHEN AND RESTROOM FACILITIES

MIN.: 1 PER 4 SEATS OR 1 PER 80 SQ FT GFA EXCLUSIVE OF KITCHEN
RESTROOM FACILITIES

BICYCLE PARKING: 5 BICYCLE PARKING FOR THE FIRST 25 CAR PARKING SPACES. EACH ADDITIONAL ONE HUNDRED

-STREET YARD: 25' MULTIPLIER (590 X 18 - 48 = 10,572 SF REQUIRED) -STREET TREES MUST BE LOCATED A MINIMUM OF 15' FROM STREET LIGHTS

(100) AUTOMOBILE PARKING SPACES ABOVE THE TWENTY-FIVE (25) MINIMUM SHALL REQUIRE PROVISIONS FOR PARKING AN ADDITIONAL FIVE (5) BICYCLES UP TO A BICYCLE PARKING SYSTEM THAT CAN ACCOMMODATE A MAXIMUM OF TWENTY (20)

68,846 SF 257,732 SF

PARCEL TR A-5 PARCEL ID#:

PARCEL OWNER: MAP ID#:

PARCEL AREA:

CAMA LAND USE:

<u>O&I-1 REQUIREMENTS</u>
MAXIMUM LOT COVERAGE: 40% MINIMUM FRONT SETBACK: 20'

BUFFER BUILDING A: 40'

FRONT SETBACK: 20'

REAR SETBACK: 216'

BUILDING HEIGHT: 46'-10"

SIDE NORTH: 110'

SIDE SOUTH: 178'

BUILDING DATA:

TOTAL:

BUILDING A:

BUILDING B:

BUILDING A:

BUILDING B: TOTAL:

PARKING:

MAXIMUM HEIGHT: 45'+ (APPROVED TO 48')

RESTAURANT SPACE: 3,408± SF (GSF) BUILDING CONSTRUCTION TYPE: 5A

PARKING REQUIREMENT RESIDENTIAL: (0%-1)
MAXIMUM: 2.5/UNIT (198 UNITS)=495 SPACES
MINIMUM: 1 BR 1.5/UNIT=151 SPACES 2 BR 2/UNIT=194 SPACES

PARKING REQUIREMENT RESIDENTIAL: (CDMU)
1 PER DWELLING UNIT (198 UNITS)=198 SPACES

RESTAURANT: 161 SEATS: MAX. 64, MIN. 40

RESIDENTIAL 198
RESTAURANT MAX. 64, MIN. 40
TOTAL: MAX. 262, MIN. 238

ACCESSIBLE PARKING REQUIRED: 14
ACCESSIBLE PARKING PROVIDED: 14

TOTAL BICYCLE PARKING PROVIDED: 20

PARKING LOT IMPERMOUS AREA

DISTURBED AREA LIMITS: 5.54 ACRES

TREE REMOVAL TABLE

TRASH SERVICE; DUMPSTER

WATER/SEWER DEMANDS

REGULATED PINES 15" (1)

24" (1) LOBLOLLY

16" (1) 21" (1)

LANDSCAPING: SEE PLANS BY MIHALY LAND DESIGN -FOUNDATION PLANTINGS: FACE OF BUILDING X (12%)

MULTIFAMILY= 198 UNITS X 240 GPD/UNIT=47,520 GPD RESTAURANT= 161 SEATS X 40 GPD/SEAT=6,440 GPD

-LANDSCAPING REQ'D INTERIOR O&I: % SHADING BASED ON

TOTAL=345 SPACES

TOTAL PARKING REQUIRED (O&H-1): MAX. 559, MIN. 385 TOTAL PARKING REQUIRED (CDMU):

PARKING PROVIDED: 300 TOTAL (284 REGULAR, 14 HC)

PROPOSED LOT COVERAGE: 17.87% PROPOSED SETBACKS BLDG, A

ADDRESS:

ZONING:

540 SF Existing To be Removed: **Existing To Remain:** 10340 SF <-- All TO SW8 000103 Asphalt, C&G: 102942 SF 8677 SF Sidewalk: **Building:** 77784 SF

3000 SF

TOTAL: 192403 Total Impervious (New & Existing to Remain): 202743 SF

New Impervious Off-Site

TOTAL:

Asphalt, C&G (Includes Driveways):

Future:

NEW Impervious TO Stormwater Permit SW8 020822

NEW Impervious TO Stormwater Permit SW8 000103 87522 SF Asphalt, C&G: Asphalt, C&G: 15420 SF Sidewalk: Sidewalk: 2452 SF **Building:** 67984 SF **Building:** 9800 SF 1500 SF Future: 1500 SF TOTAL: 163231 TOTAL: 29172

New Impervious Off-Site <-- To SW8 020822 in Ashes Dr. ROW Asphalt, C&G (Includes Driveways):

5118 SF

<-- To SW8 980549 in Fresco Dr. ROW Improvements

TUNS SING TNG VORRIS

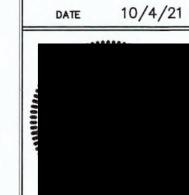
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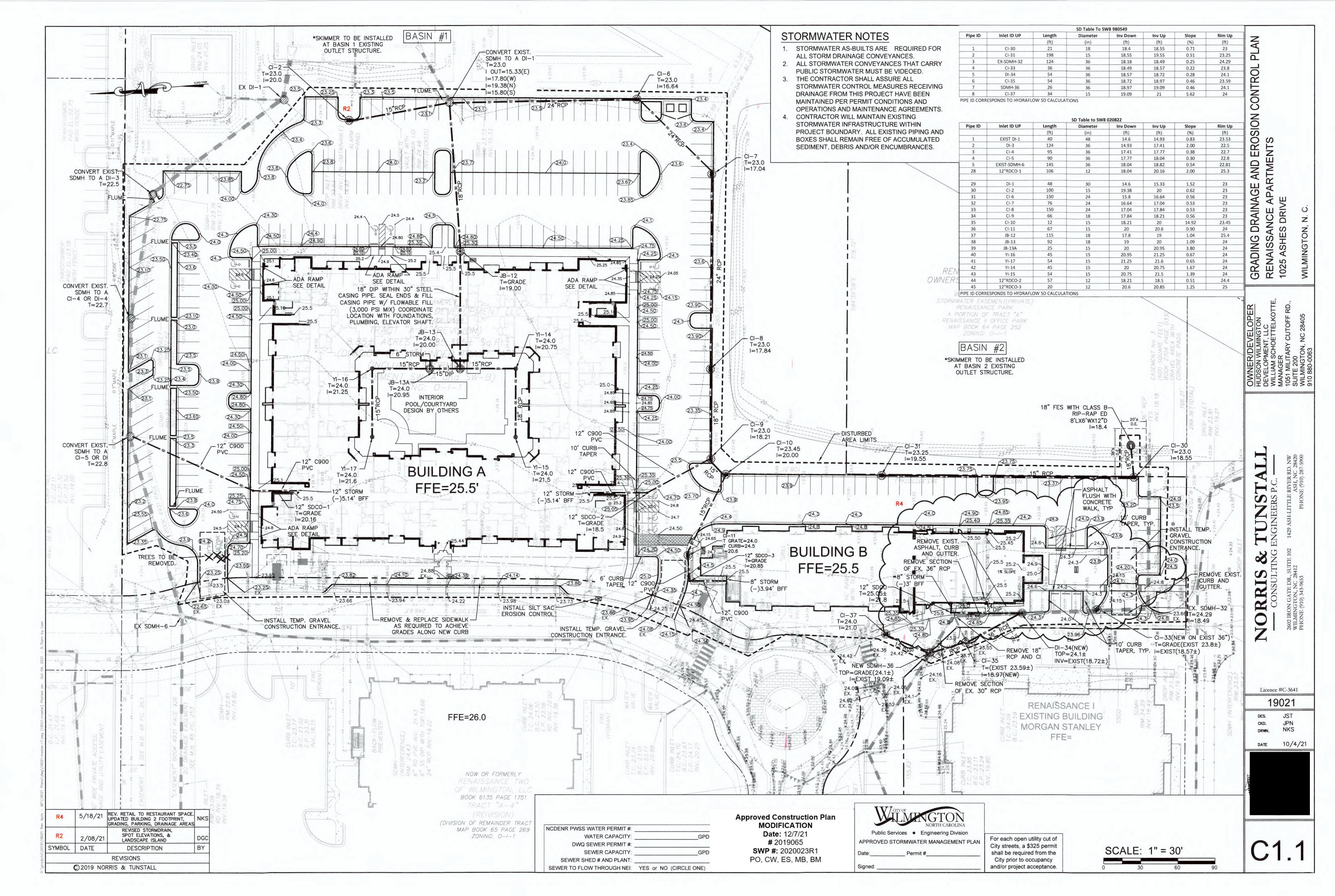
OVERALL SITE RENAISSANCE A 1025 ASHES DRIVE

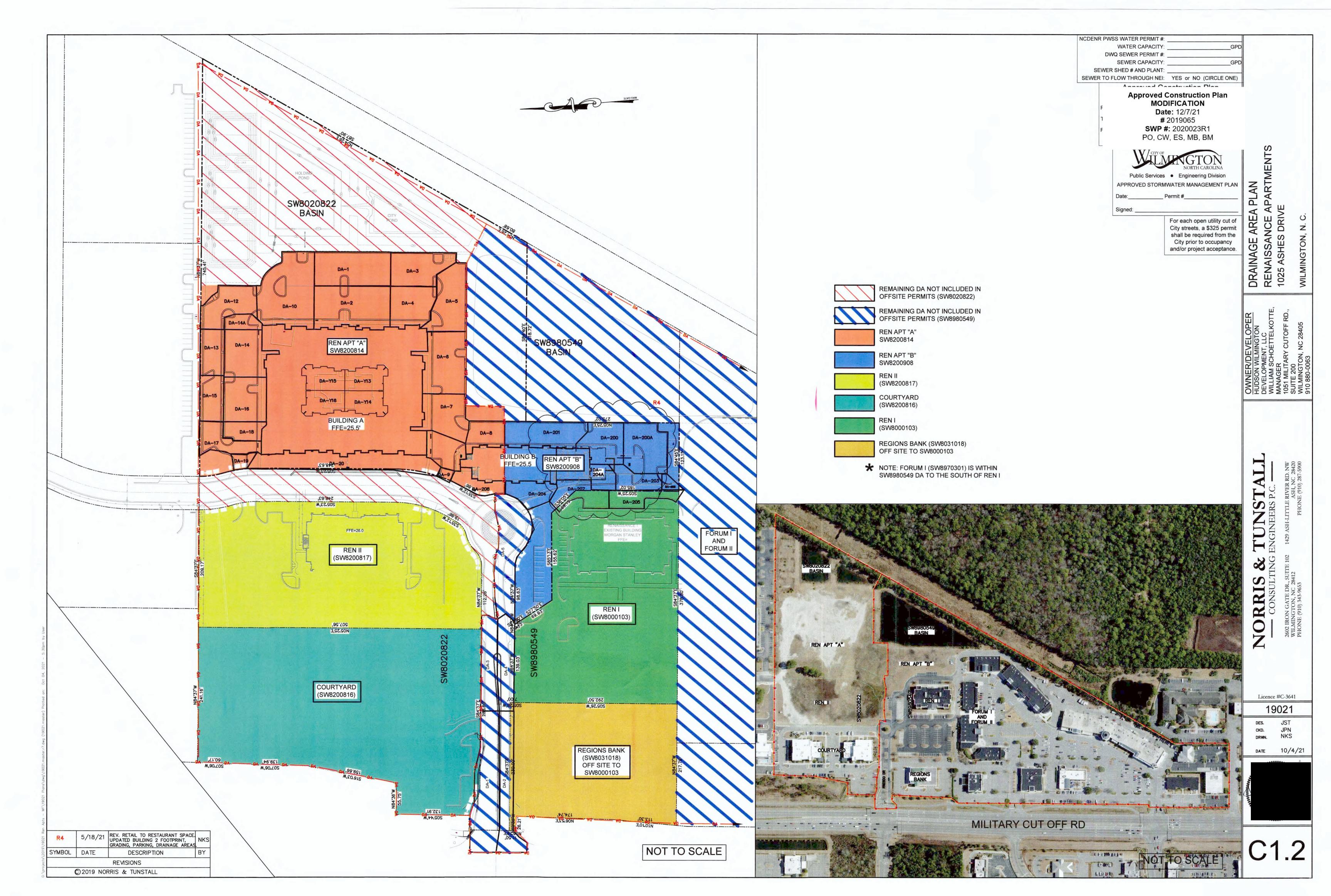
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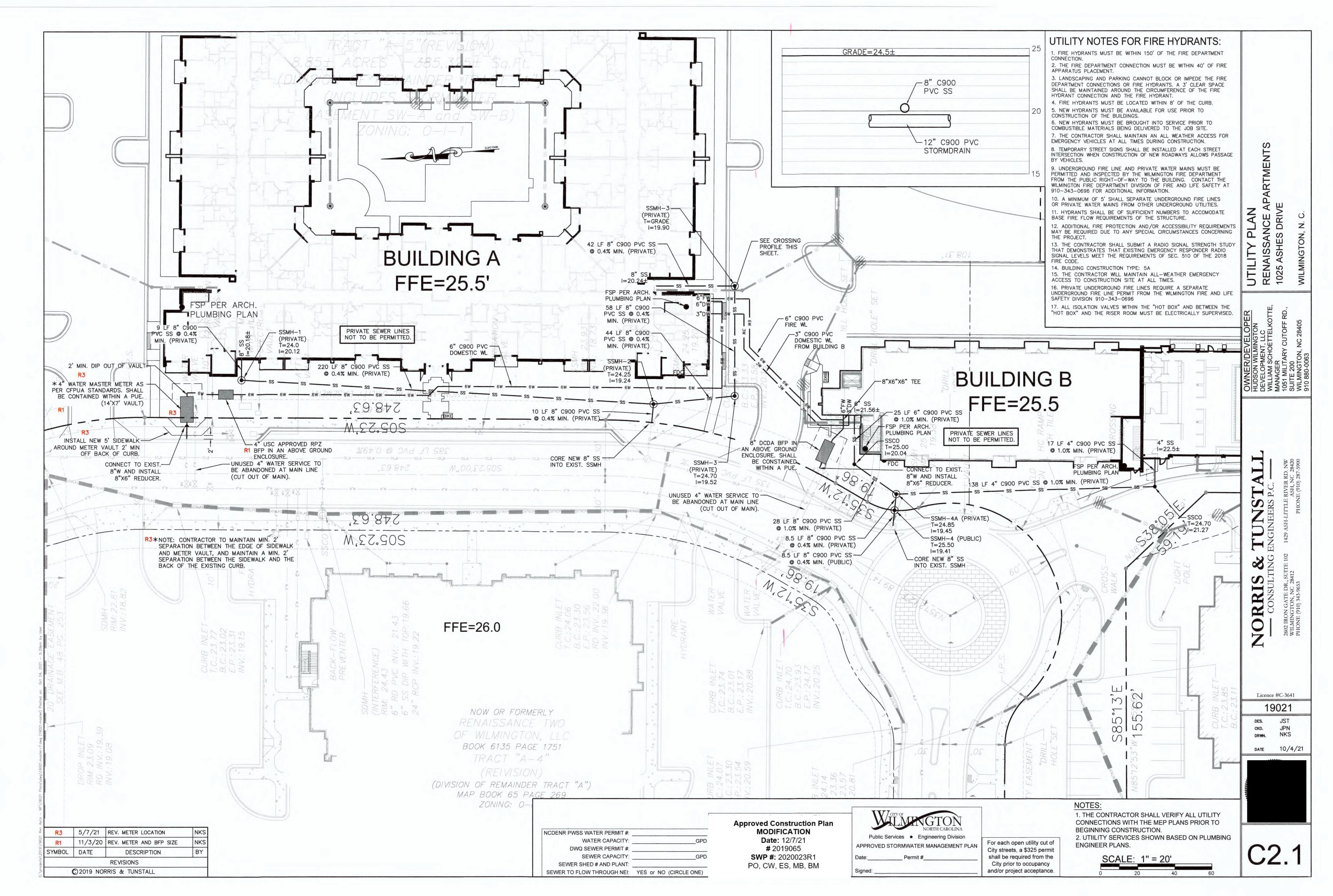
JST DES. CKD. JPN NKS DRWN.

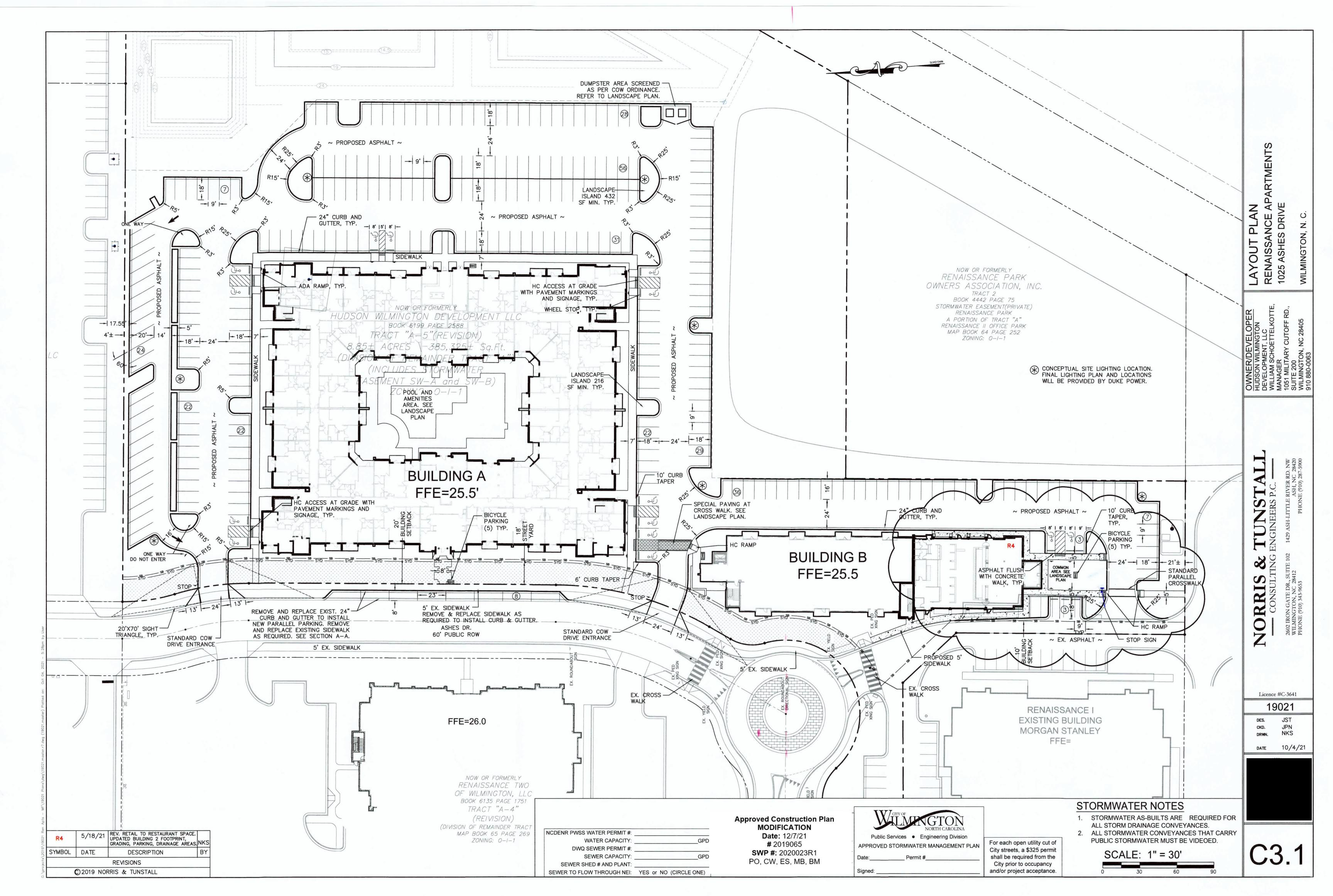
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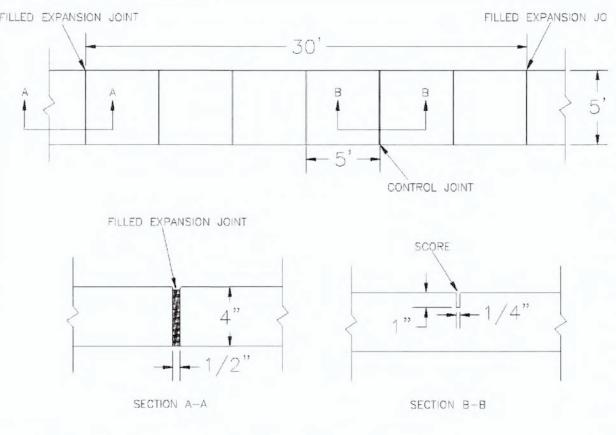








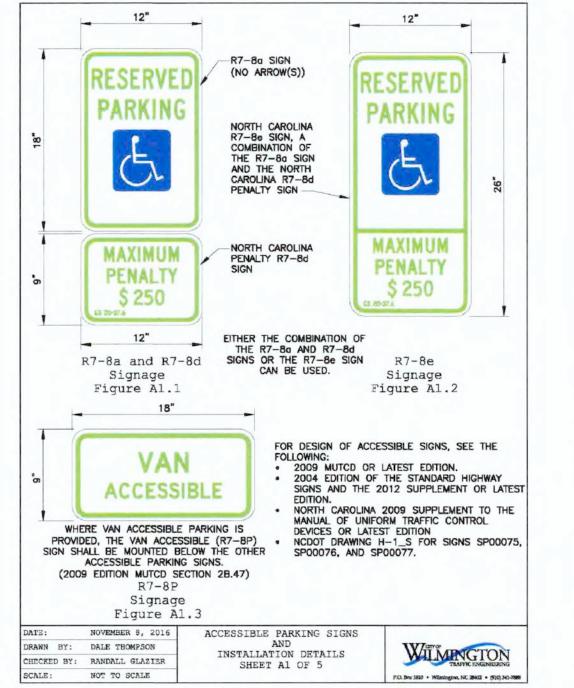


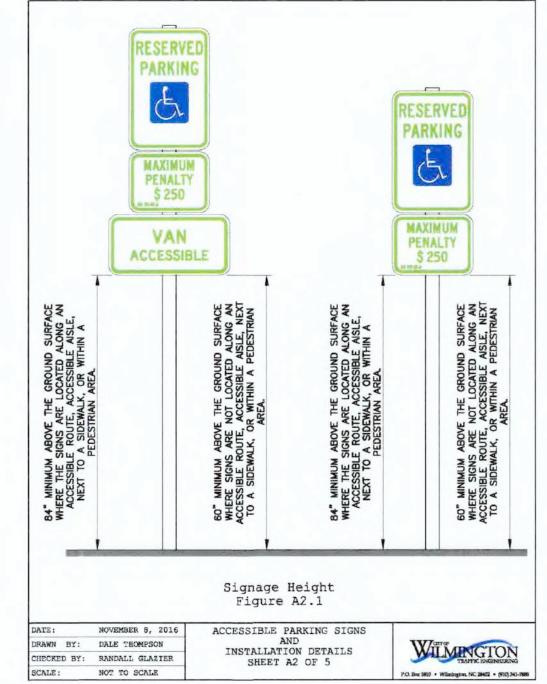


- NOTES: 1. JOINT MATERIAL TO COMPLY WITH CURRENT NODOT STANDARDS.
 - 2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - 3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - 4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY
 - APRON) SHALL BE CLASS "A" 3,000 PSI. 5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL

 - 6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS

C.O.W. STANDARD SIDEWALK DETAIL





CITY OF WILMINGTON STANDARD NOTES:

1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.

2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE

PROTECTION FENCING; 3. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR

NCDOT STANDARDS. 4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE

5. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.

6. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.

7. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.

8. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.

9. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.

10. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET, CONTACT 341-5888 FOR MORE DETAILS, IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.

11. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.

12. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.

13. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.

14. IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.

15. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.

16. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.

17. WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.

18. THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.

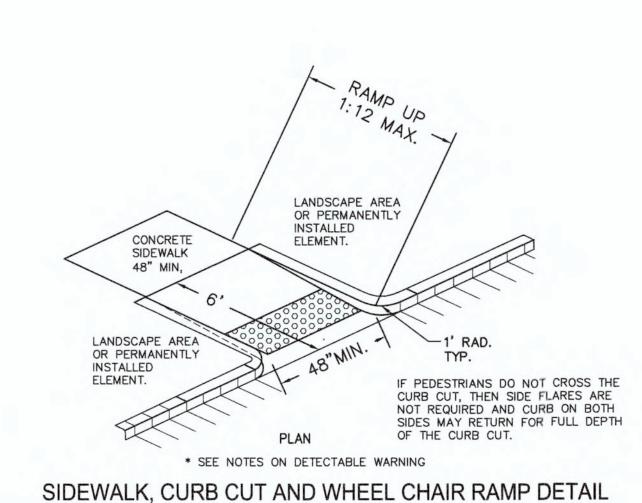
19. UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.

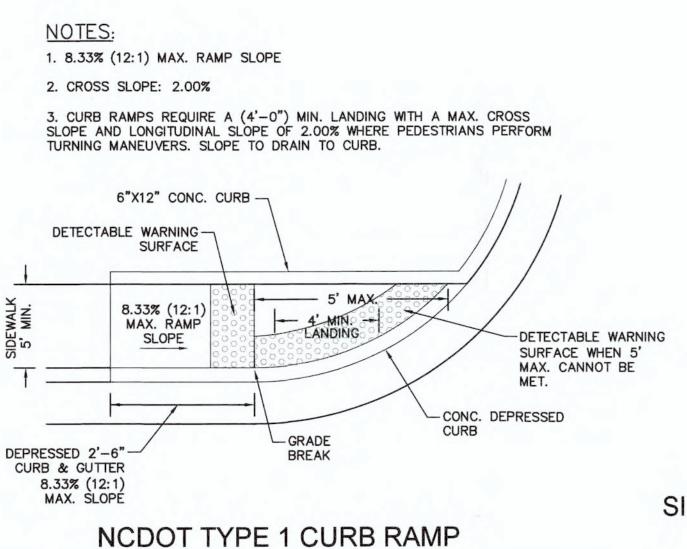
20. A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEER DIVISION AND PARKS AND RECREATIN DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT. STREET TREES MUST BE LOCATED A MINIMUM OF 15' FROM STREET LIGHTS

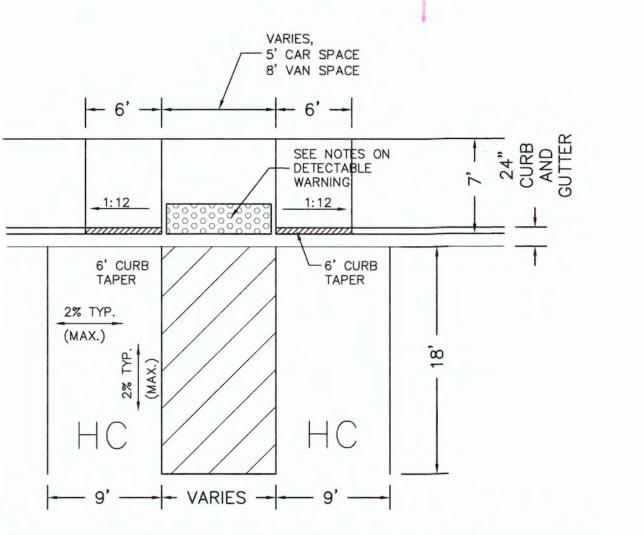
21. IF AND IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.

22. ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30"-10'. 23. PLEASE CONSIDER INCORPORATING XERIC LANDSCAPING FOR ALL NEW LANDSCAPING.

24. THE CONTRACTOR WILL MAINTAIN ALL-WEATHER EMERGENCY ACCESS TO CONSTRUCTION SITE AT ALL TIMES.







SIDEWALK, CURB CUT AND WHEEL CHAIR RAMP DETAIL

1. RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH ADA GUIDELINES. "COLONIAL RED" COLOR FOR DOME. 2. THE DETECTABLE WARNINGS AT CURB RAMPS SHALL BE 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. 3. MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24 INCH DEEP DETECTABLE WARNING EXTENDING THE FULL

WIDTH OF THE MARKED CROSSING. 4. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% - REFER TO ADA GUIDELINES FOR DEFINITION OF

5. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE, DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

DETECTABLE WARNING NOTES

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Public Services • Engineering Division APPROVED STORMWATER MANAGEMENT PLAN

Approved Construction Plan MODIFICATION Date: 12/7/21 # 2019065 **SWP #:** 2020023R1

PO, CW, ES, MB, BM

NCDENR PWSS WATER PERMIT #: WATER CAPACITY DWQ SEWER PERMIT #: SEWER CAPACITY: SEWER SHED # AND PLANT: SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

TAILS

DA

1025

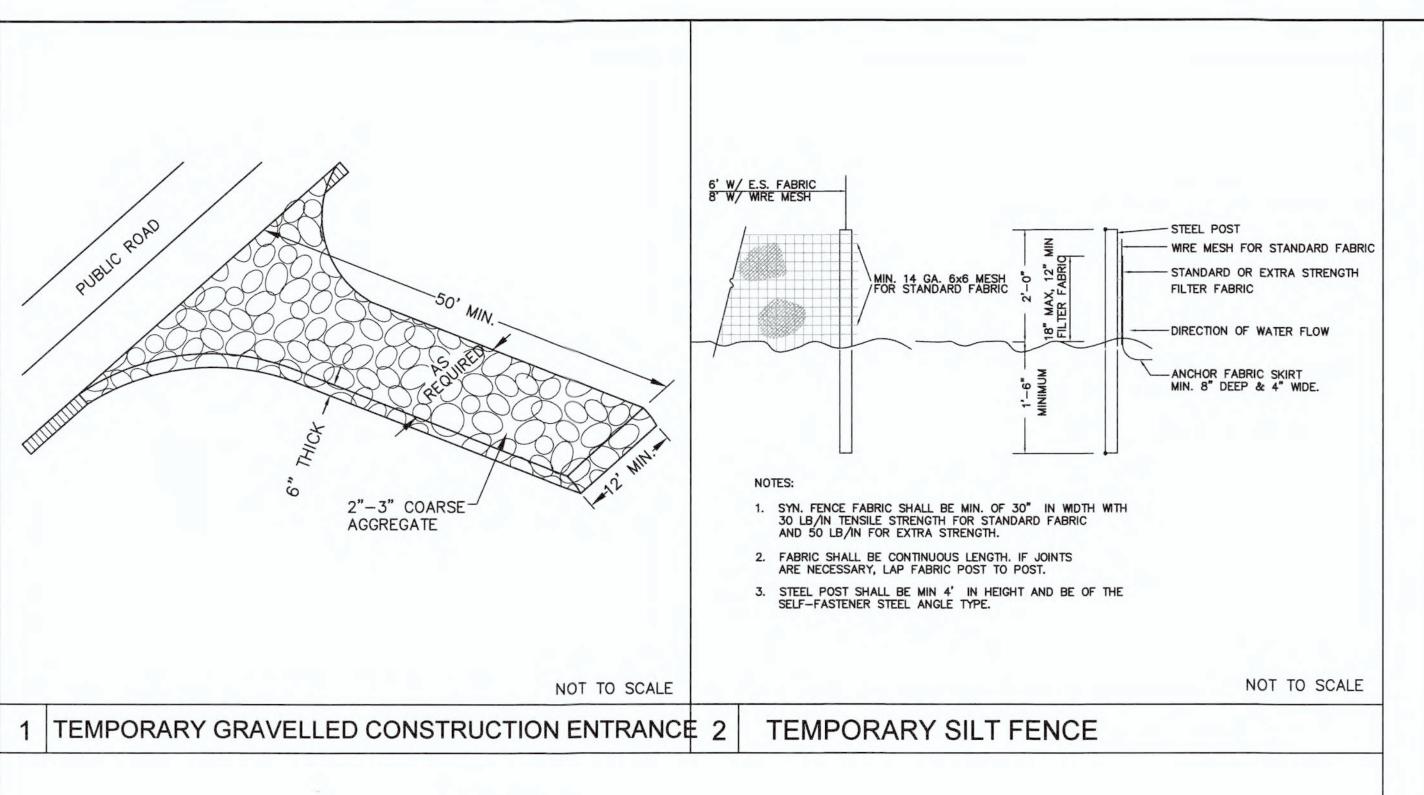
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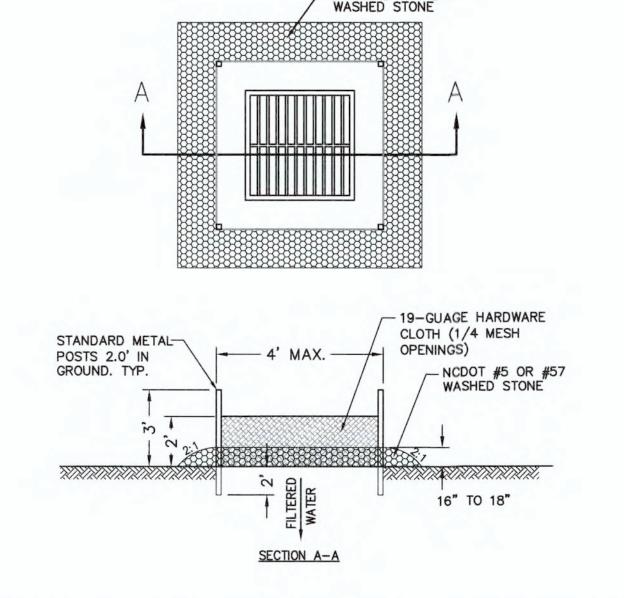
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Licence #C-3641 19021 DES. JST CKD. TJC

DRWN.NKS

DATE 10/4/21





-NCDOT #5 OR #57

UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET. 2. DRIVE 5' STEEL POST 2' INTO THE GROUND SURROUNDING THE INLET. SPACE POST EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4' APART. 3. SURROUND THE POST WITH WIRE MESH HARDWARE CLOTH. SECURE THE

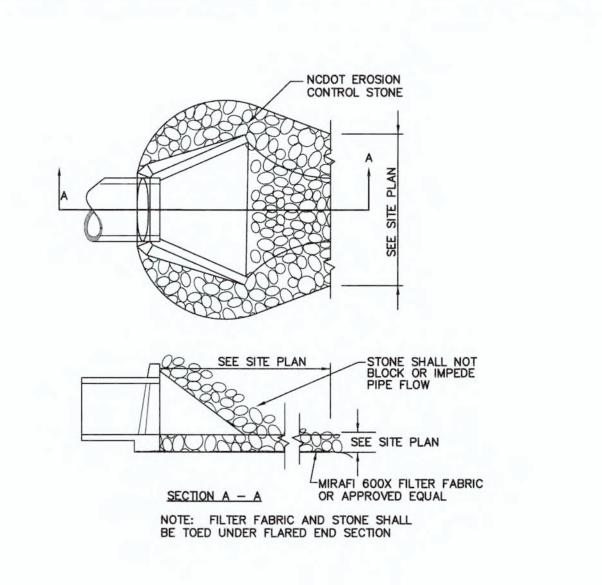
WIRE MESH TO THE STEEL POST AT THE TOP, MIDDLE AND BOTTOM. PLACING A 2' FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED. 4. PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A

HEIGHT OF 16" TO 18" AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE. 5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS. 6. COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUNDCOVER.

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT, CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REMOVE SEDIMENT WHEN ACCUMULATION REACHES HALF THE DEPTH OF ROCK. REPLACE STONE WHEN IT NO LONGER DRAINS AS DESIGNED.

NOT TO SCALE

3 HARDWARE CLOTH AND GRAVEL INLET PROTECTION



4 ENERGY DISSIPATOR DETAIL

NOT TO SCALE

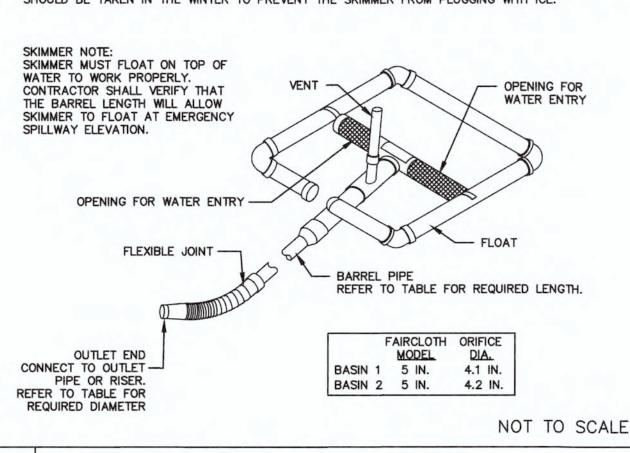
SKIMMER MAINTENANCE NOTES:

1. INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ON-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY.

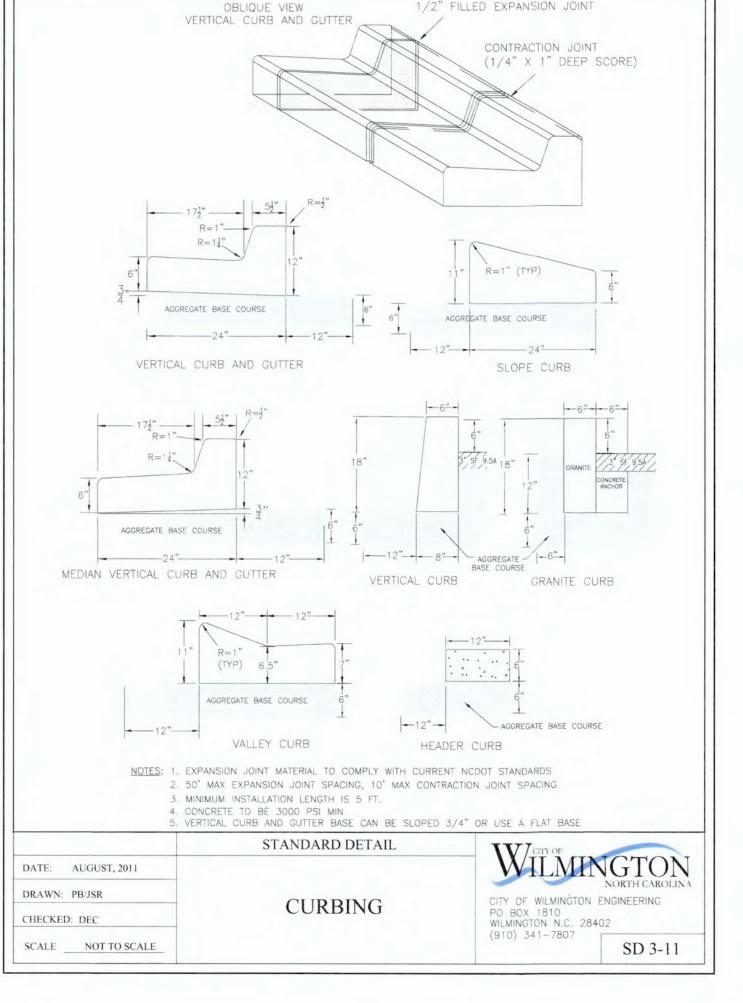
2. IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBIS.

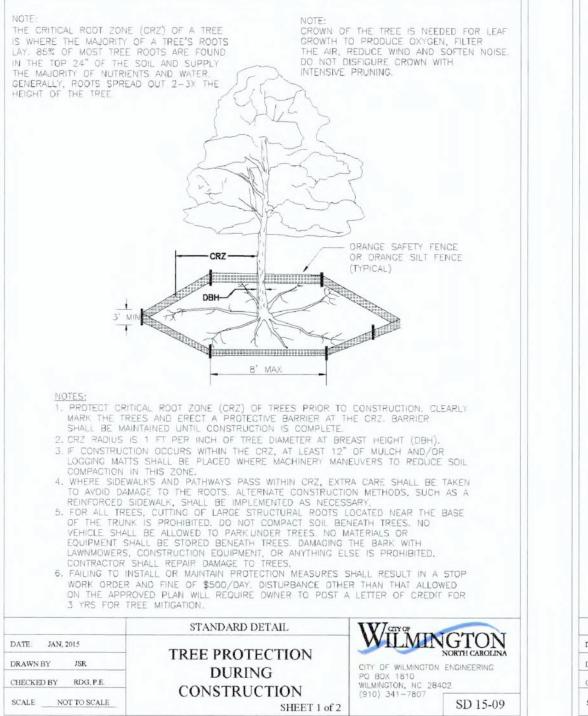
3. IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.

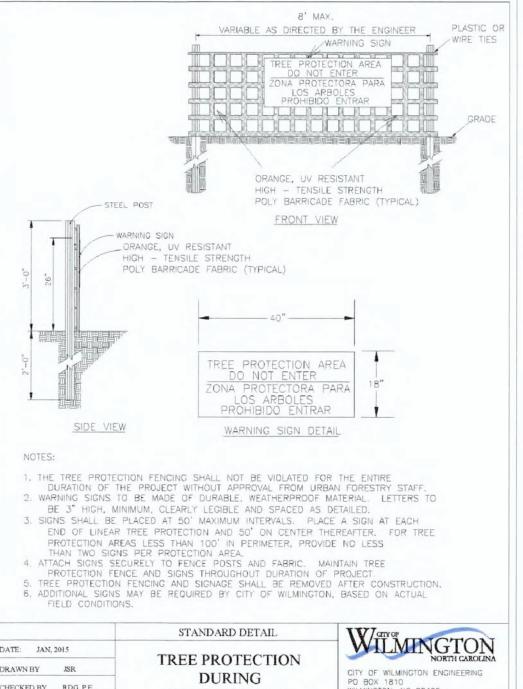
4. FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.



STANDARD SKIMMER DETAIL







EROSION CONTROL NOTES AND MAINTENANCE PLAN:

ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.

2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.

SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND WATTLES, BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY

4. DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.

5. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF-FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.

6. SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED AND KEPT CLEAN

7. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.

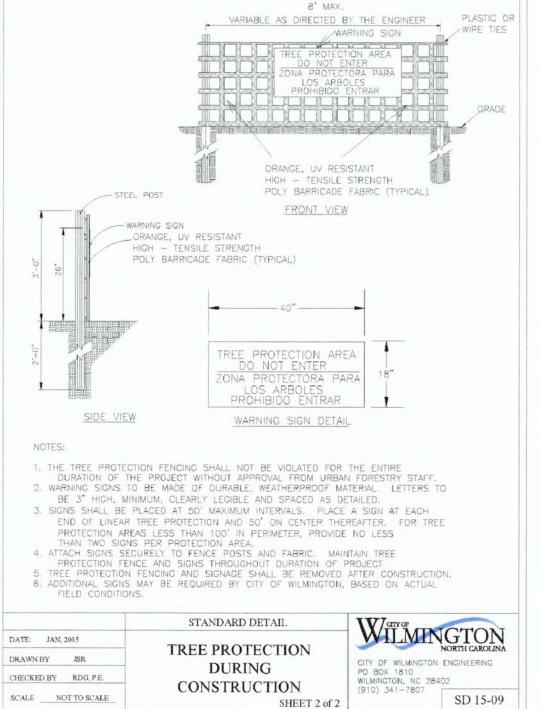
8. LAND QUALITY REQUIRES: ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED, ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN, TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.

WATER QUALITY REQUIRES: ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3' HORIZONTAL TO 1' VERTICAL (3:1) AND ALL HIGH QUALITY WATER (HQW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

9. FLOCCULANTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECT SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.

10. BASIN OUTLET STRUCTURES AND SKIMMERS SHALL WITHDRAW WATER FROM THE SURFACE.

11. CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAGES SHOULD BE REPAIRED PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EVAPORATE TO AVOID OVERFLOWS. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER COVERED TO AVOID AN OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance. Public Services • Engineering Division APPROVED STORMWATER MANAGEMENT PLAN Approved Construction Plan MODIFICATION Date: 12/7/21 # 2019065 **SWP** #: 2020023R1 PO. CW. ES. MB. BM

NCDENR PWSS WATER PERMIT #: WATER CAPACITY DWQ SEWER PERMIT #: SEWER CAPACITY SEWER SHED # AND PLANT: SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

NOT REN, 1025

DRIVE

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Licence #C-3641

19021 DES. JST CKD. TJC DRWN.NKS

DATE 10/4/21

mplementing the details and specifications on this plan sheet will result in the constructior activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the lelegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

	Re	quired Ground Stabil	ization Timeframes
Si	te Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a)	Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b)	High Quality Water (HQW) Zones	7	None
(c)	Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d)	Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e)	Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

- other mulches and tackifiers
- Rolled erosion control products with or without temporary grass seed
- Temporary grass seed covered with straw or
 Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting
- Hydroseeding Appropriately applied straw or other mulch
 Shrubs or other permanent plantings covered Plastic sheeting
 - Uniform and evenly distributed ground cover sufficient to restrain erosion · Structural methods such as concrete, asphalt or
 - retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANT

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures. Apply flocculants at the concentrations specified in the NC DWR List of Approved
- PAMS/Flocculants and in accordance with the manufacturer's instructions. Provide ponding area for containment of treated Stormwater before discharging
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment. Identify leaks and repair as soon as feasible, or remove leaking equipment from the
- Collect all spent fluids, store in separate containers and properly dispose as
- Remove leaking vehicles and construction equipment from service until the problem Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes
- waters unless no other alternatives are reasonably available. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.

Locate waste containers at least 50 feet away from storm drain inlets and surface

- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers. Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility

PAINT AND OTHER LIQUID WASTE

 Do not dump paint and other liquid waste into storm drains, streams or wetlands Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available

9. On business days, clean up and dispose of waste in designated waste containers.

- Contain liquid wastes in a controlled area Containment must be labeled, sized and placed appropriately for the needs of site.
 - Prevent the discharge of soaps, solvents, detergents and other liquid wastes from

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit

EARTHEN STOCKPILE MANAGEMEN

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



AT CHECKY WIDGET STRUCTURES BULL AS HUMBERS VICE IN LINES ASSAUR SALIS MOCKET FOR D' THE STRUCTURES SCHOOL WASHING THE THE SERVICE SETTING SERVICE SETTING SERVICE.

CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site. Dispose of, or recycle settled, hardened concrete residue in accordance with local
- and state solid waste regulations and at an approved facility. Manage washout from mortar mixers in accordance with the above item and in
- addition place the mixer and associated materials on impervious barrier and within Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two
- types of temporary concrete washouts provided on this detail. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must
- be pumped out and removed from project. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the
- approving authority Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water
- or surface water. If a spill occurs, clean area immediately. 4. Do not stockpile these materials onsite

HAZARDOUS AND TOXIC WASTE

Create designated hazardous waste collection areas on-site Place hazardous waste containers under cover or in secondary containment.

Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

Optional Overflow-

DEPTH = I

SILTSAC TYPE A

SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend of holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: Actions taken to clean up or stabilize the sediment that has left the site limits, Description, evidence, and date of corrective actions taken, and An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit of this permit.
(5) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

SECTION B: RECORDKEEPING

. E&SC Plan Documentatio

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner

Documentation Requirements

SELF-INSPECTION, RECORDKEEPING AND REPORTING

item to Document	Documentation Requirements					
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.					
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.					
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.					
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.					
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.					

2. Additional Documentation

In addition to the E&SC Plan documents above, the following items shall be kept on the

- and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this
- (a) This general permit as well as the certificate of coverage, after it is received.
- (b) Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING 1. Occurrences that must be reported

- Permittees shall report the following occurrences:
- (a) Visible sediment deposition in a stream or wetland.

(b) Oil spills if: They are 25 gallons or more,

- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (b) Anticipated bypasses and unanticipated bypasses.
- (c) Noncompliance with the conditions of this permit that may endanger health or the environment.

. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

(a) Visible sediment stream or wetland

release of

hazardous

1(b)-(c) above

(c) Anticipated

bypasses 140 CFR

(d) Unanticipated

bypasses [40 CFR

(e) Noncompliance

with the conditions

of this permit that

may endanger

environment[40]

CFR 122.41(I)(7)]

health or the

122.41(m)(3)]

122.41(m)(3)]

- Within 24 hours, an oral or electronic notification.
- . Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.

If the stream is named on the NC 303(d) list as impaired for sediment-

Reporting Timeframes (After Discovery) and Other Requirements

- related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
- Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release. substances per Item
 - A report at least ten days before the date of the bypass, if possible The report shall include an evaluation of the anticipated quality and Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the
 - Within 24 hours, an oral or electronic notification Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to
 - continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(I)(6). Division staff may waive the requirement for a written report on a

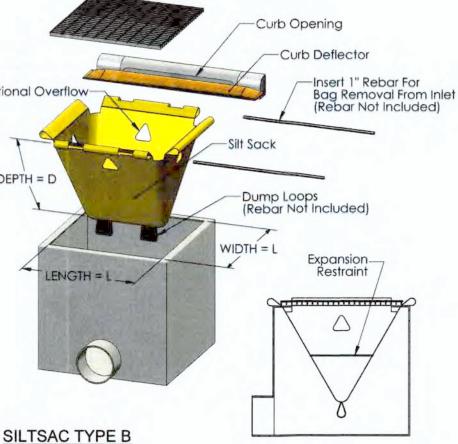
(Rebar Not Included) Restraint

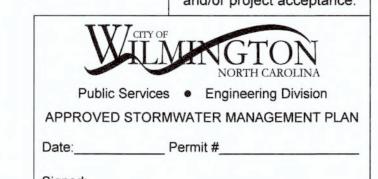
. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE OPENING SIZE OF THE EXISTING OR PROPOSED CATCH BASIN OR DROP INLET. THE SILTSACK WILL BE MANUFACTURED TO FIT THE OPENING OF THE EXISTING OR PROPOSED CATCH BASIN OR DROP INLET.

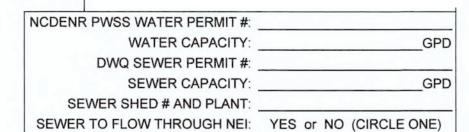
2. TO INSTALL THE SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.

3. THE SILTSACK IS FULL AND SHOULD BE EMPTIED WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE.

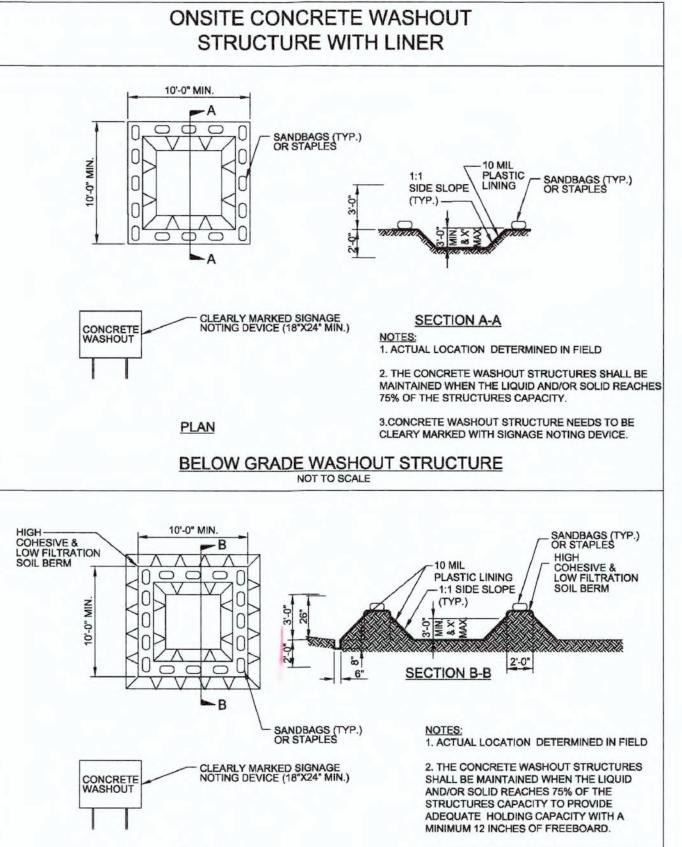
4. TO REMOVE THE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF THE SILTSACK.







WITH LINER, NO GRAVEL APPROACH



insert 1" Rebar For

(Rebar Not Included)

Restraint

Bag Removal From Inlet

(Rebar Not Included)

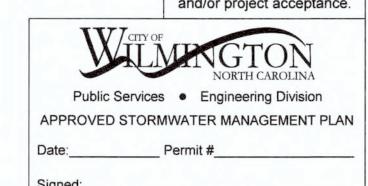
3.CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARY MARKED WITH SIGNAGE NOTING DEVICE ABOVE GRADE WASHOUT STRUCTURE

NOT TO SCALE

5. TO EMPTY THE SILTSACK, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN THE SILTSACK INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN THE SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE

SILT SACK NOTES

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Approved Construction Plan MODIFICATION Date: 12/7/21 # 2019065 **SWP** #: 2020023R1 PO, CW, ES, MB, BM

PERMANENT SEEDING RECOMMENDATIONS FOR FALL AND EARLY SPRING SEEDING MIXTURE

SEEDING NOTES:

1. FROM SEPT. 1 THRU MAR. 1, USE UNSCARIFIED SERICEA SEED. 2. ON POORLY DRAINED SITES OMIT SERICEA AND INCREASE KOBE TO

PENSACOLA BAHIAGRASS

SERICEA LESPEDEZA

KOBE LESPEDEZA

NURSE PLANTS: BETWEEN APR. 15 AND AUG. 15, ADD 10 lbs/acre GERMAN MILLET OR 15 lbs/acre SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUG. 15 ADD 25 lbs/acre RYE (GRAIN).

3. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE

THE LOWER RATE ON SANDY SOILS) AND 1,000 lbs/acre (22.9 lbs/1,000 sf) APPLY 4,000 Ib/gcre (91.8 Ibs/1,000 sf) GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING

APPLY LIME AND FERTILIZE ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000

lbs/acre (68.9-114.8 lbs/1,000 sf) GROUND AGRICULTURAL LIMESTONE (USE

IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR, ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 lbs/acre (11.5 lbs/1,000 sf) 10-10-10 FERTILIZER. MOW AS NEEDED WHEN SERICEA IS OMITTED FROM THE MIXTURE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

PERMANENT SEEDING RECOMMENDATIONS FOR LATE SPRING AND EARLY SUMMER

SEEDING MIXTURE

SPECIES RATE (Ib/acre)
PENSACOLA BAHIAGRASS 50 SERICEA LESPEDEZA COMMON BERMUDA 0.23 GERMAN MILLET

<u>SEEDING NOTES:</u>
1. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA. 2. USE COMMON BERMUDAGRASS ONLY ON ISOLATED SITES WHERE IT CANNOT BECOME A PEST. BERMUDAGRASS MAY BE REPLACED WITH 5 lbs/gcre

APPLY LIME AND FERTILIZE ACCORDING TO SOIL TESTS, OR APPLY 3,000 lbs/acre (68.9 lbs/1,000 sf) GROUND AGRICULTURAL LIMESTONE AND 500 lbs/acre (11.5

APPLY 4,000 lb/acre (91.8 lbs/1,000 sf) GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING

REFERTILIZE THE FOLLOWING APRIL WITH 50 lbs/gcre (1.15 lbs/1,000 sf)
NITROGEN. REPEAT AS GROWTH REQUIRES. MAY BE MOWED ONLY ONCE A YEAR. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND MOW AS OFTEN AS

TEMPORARY SEEDING RECOMMENDATIONS FOR FALL

<u>SEEDING DATES:</u>
MOUNTAINS — AUG. 15 — DEC. 15
COASTAL PLAIN AND PIEDMONT — AUG. 15 — DEC. 15 SOIL AMENDMENTS: FOLLOW SOIL TEST OR APPLY 2,000 Ib/acre GROUND AGRICULTURAL LIMESTONE AND 1,000 lb/acre 10-10-10 FERTILIZER.

APPLY 4,000 Ib/acre STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REPAIR AND REFERTILIZE DAMAGE AREAS IMMEDIATELY, TOP DRESS WITH 50 lb/acre OF NITROGEN IN MARCH, IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15. OVERSEED WITH 50 lb/gcre KOBE (PIEDMONT AND COASTAL PLAIN) OR KOREAN (MOUNTAINS) LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER SEEDING MIXTURE RATE (lb/gcre)

IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUDANGRASS MAY BE SUBSTITUTED AT A RATE OF 50 lb/acre.

SEEDING DATES: MOUNTAINS - MAY 15 - AUG. 15 PIEDMONT - MAY 1 - AUG. 15 COASTAL PLAIN - APR. 15 - AUG. 15

SPECIES

RYE (GRAIN)

ANNUAL LESPEDEZA

SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 lb/acre GROUND AGRICULTURAL LIMESTONE AND 750 lb/gcre 10-10-10 APPLY 4,000 Ib/acre STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT,

NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL. MAINTENANCE: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET

TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING SEEDING MIXTURE

RATE (lb/gcre)

(KOBE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)

OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE. ABOVE 2,500 FEET: FEB. 15 - MAY 15 BELOW 2,500 FEET: FEB. 1 - MAY 1 PIEDMONT -JAN. 1 - MAY 1

COASTAL PLAIN -DEC. 1 - APRIL 15 SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 lb/acre GROUND AGRICULTURAL LIMESTONE AND 750 lb/acre 10-10-10 APPLY 4,000 lb/acre STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT,

NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL. MAINTENANCE:
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Licence #C-3641

19021

DATE 10/4/21

DES. JST

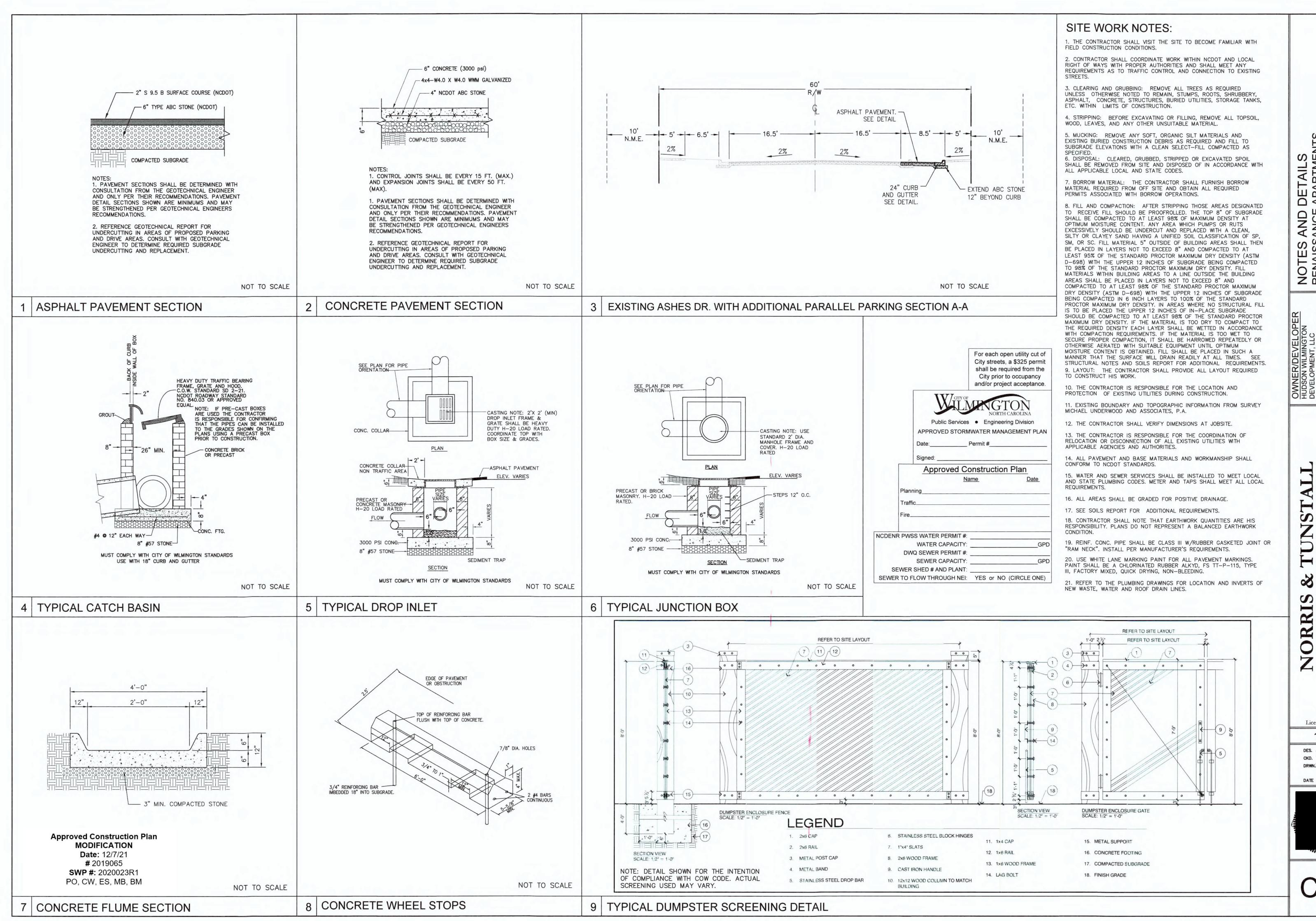
CKD. TJC

DRWN.NKS

NORTH CAROLINA # Environmental Quality

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19



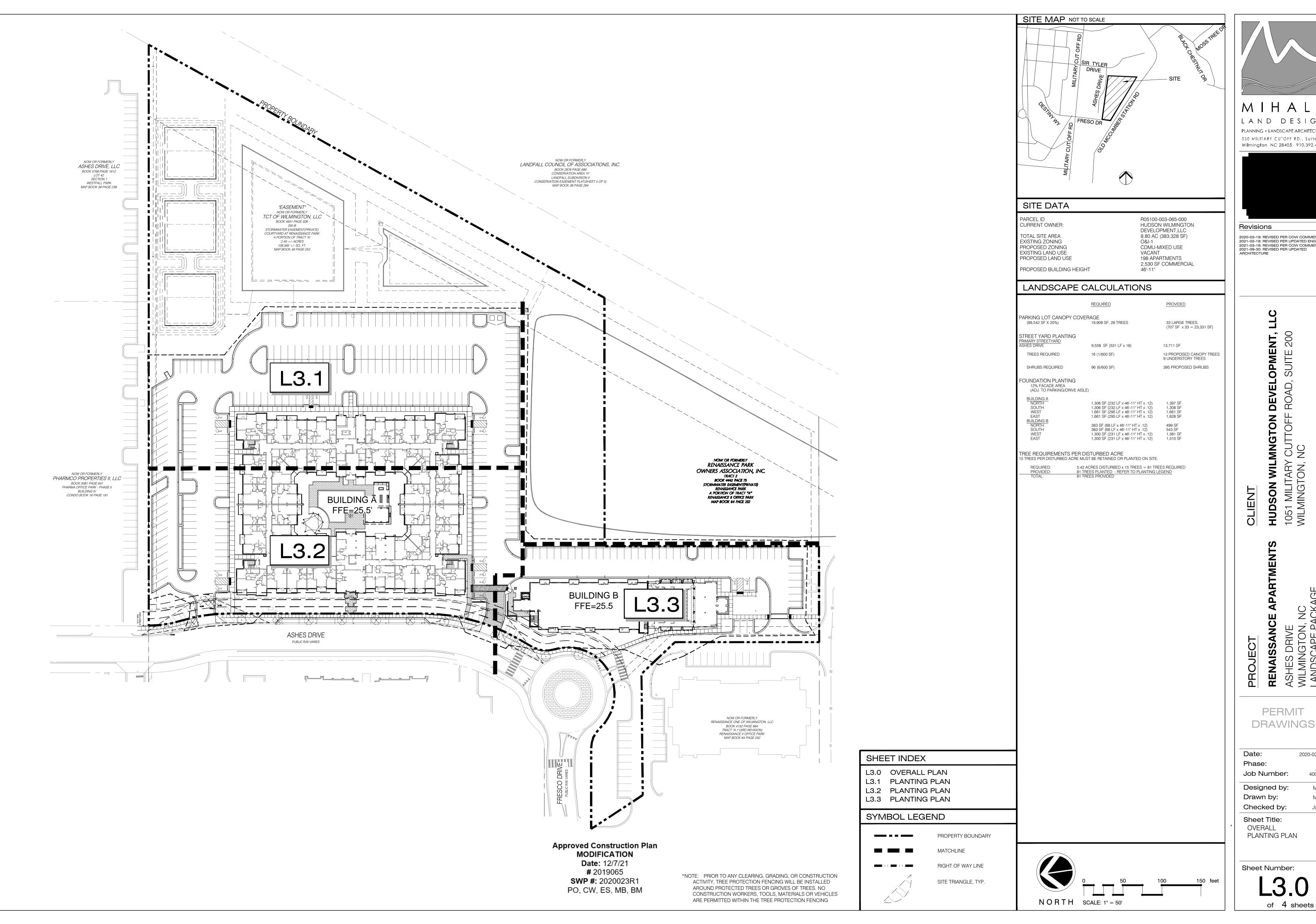
TAILS DA 1025

CUTOFF NC 28405

Licence #C-3641 19021

DES. JST CKD. TJC DRWN.NKS

DATE 10/4/21





LAND DESIGN PLANNING + LANDSCAPE ARCHITECTURE 330 MILITARY CUTOFF RD., Suite A3 Wilmington, NC 28405 910.392.4355

Revisions

2020-03-19: REVISED PER COW COMMENTS 2021-02-18: REVISED PER UPDATED ENGINEER 2021-03-16: REVISED PER COW COMMENTS 2021-09-30: REVISED PER UPDATED ARCHITECTURE

V DEVELOPMENT, I F ROAD, SUITE 200

WILMNGTON F HUDSON 1051 MILIT WILMINGT

RENAISSANCE APARTMENTS
ASHES DRIVE
WILMINGTON, NC
LANDSCAPE PACKAGE

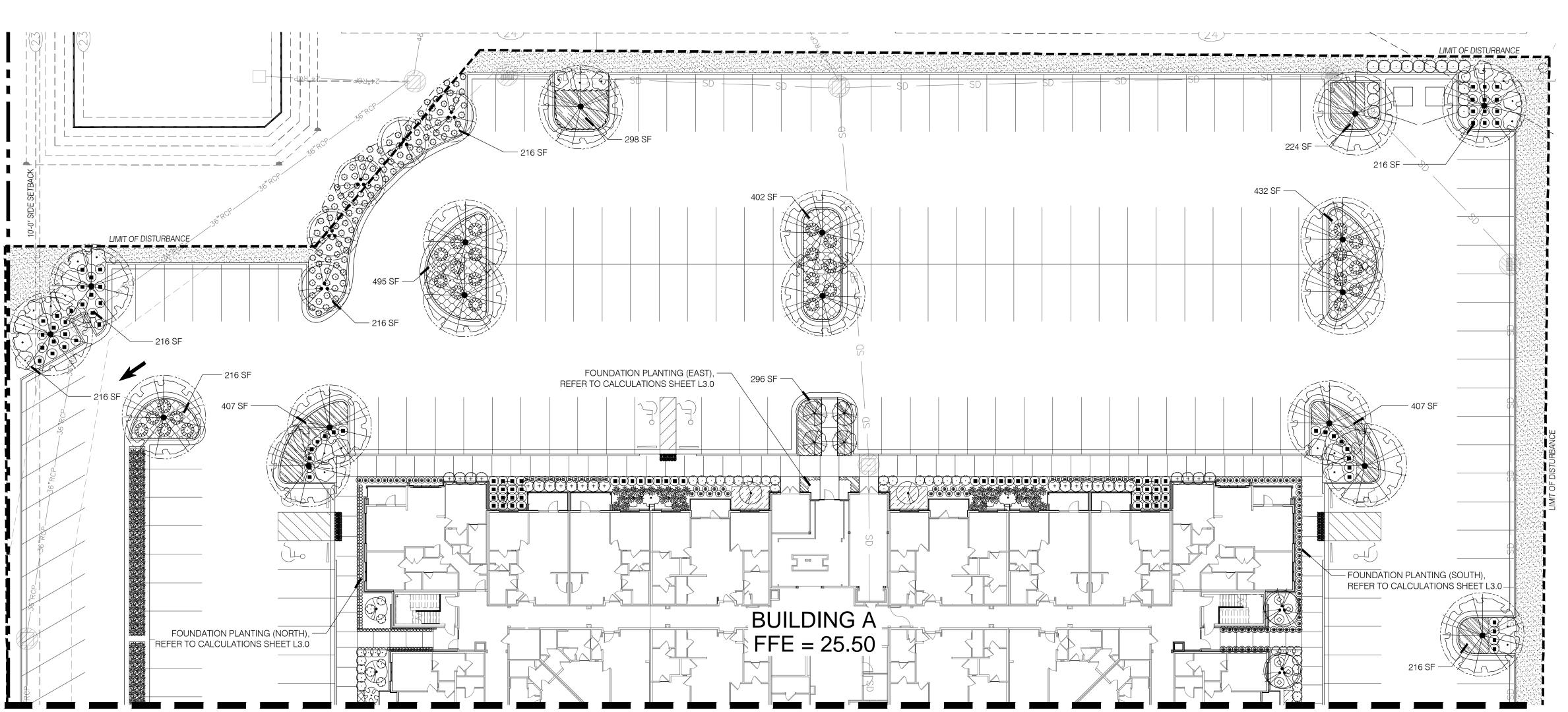
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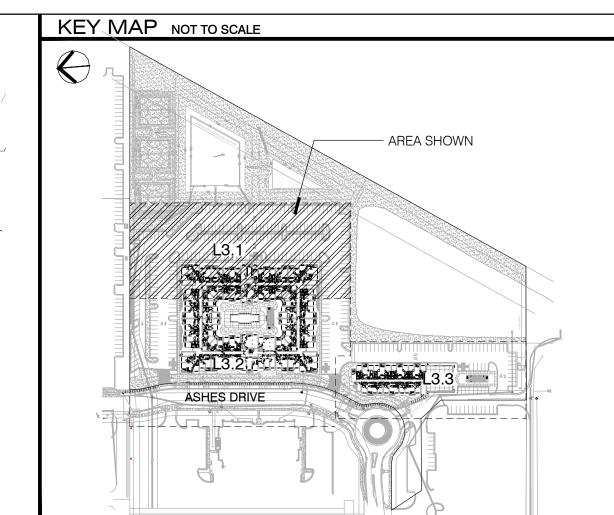
Date:	2020-02-28
Phase:	
Job Number:	400-20
Designed by:	MLD
Drawn by:	MAS
Checked by:	JWM

Sheet Title: OVERALL PLANTING PLAN

Sheet Number:

of 4 sheets







PLANNING + LANDSCAPE ARCHITECTURE 330 MILITARY CUTOFF RD., Suite A3 Wilmington, NC 28405 910.392.4355

2020-03-19: REVISED PER COW COMMENTS 2021-02-18: REVISED PER UPDATED ENGINEER 2021-03-16: REVISED PER COW COMMENTS 2021-09-30: REVISED PER UPDATED ARCHITECTURE

DEVELOPMENT, WILMNGTON

HUDSON 1051 MILIT WILMINGT CLIENT

RENAISSANCE APARTMENTS
ASHES DRIVE
WILMINGTON, NC
LANDSCAPE PACKAGE PROJECT

PERMIT DRAWINGS

2020-02-28 Phase: Job Number: Designed by: MLD

Drawn by: Checked by:

Sheet Title: PLANTING PLAN

Sheet Number: of 4 sheets

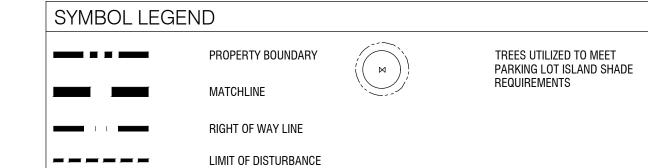
MATCHLINE - REFER TO SHEET L3.2

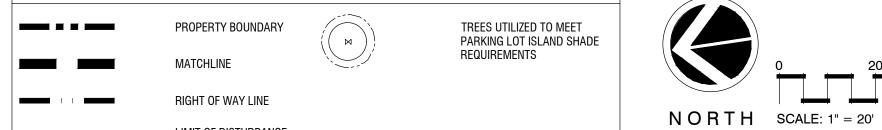
EES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	MIN, REQ. SIZE	QTY
	Betula nigra / River Birch `Duraheat`	B & B	3" CAL		2-2.5" CAL.	5
	Lagerstroemia i. `Muskogee` / Muskogee Crape Myrtle SINGLE STEM	B&B	3" CAL		2-2.5" CAL.	4
	Quercus virginiana / Southern Live Oak	B & B	4" CAL		2-2.5" CAL.	17
	Vitex agnus-castus `Shoal Creek` / Chaste Tree	25 GAL		7-8` HT		2
HRUBS	BOTANICAL / COMMON NAME	CONT	SIZE	-	MIN, REQ. SIZE	QTY
Ó	Aspidistra elatior / Cast Iron Plant	1 gal	15-18" HT	12" HT		118
\odot	Buxus m. `Wintergreen` / 7 gal. Boxwood	7 gal	18-24" HT	12" HT		37
< ;;; ;	Dryopteris erythrosora / Autumn Fern	3 gal	15-18" HT	12" HT		15
	Fatsia japonica / Japanese Fatsia	7 gal	24-30" HT	12" HT		1
\otimes	Gardenia jasminoides `Radicans` / Gardenia	3 gal	12-18" HT	12" HT		28
\odot	Hydrangea m. `Nikko Blue` / Nikko Blue Hydrangea	3 gal	18-24" HT	12" HT		6
\Diamond	Hydrangea paniculata `Little Lime` / Little Lime Hydrangea	3 gal	18-24" HT	12" HT		6
	Ilex vomitoria / Tree Form Yaupon Holly	B&B	7-8` HT			6
	llex vomitoria `Nana` / Dwarf Yaupon	3 gal	15-18" HT	12" HT		105
\odot	Ligustrum j. `Recurvifolium` / Wax leaf ligustrum	7 gal	36" HT	3` HT		16
	Ligustrum japonicum / Tree Form Ligustrum	B&B	8` HT			6
***	Muhlenbergia capillaris / Pink Muhly	3 gal	18-24" HT	12" HT		102

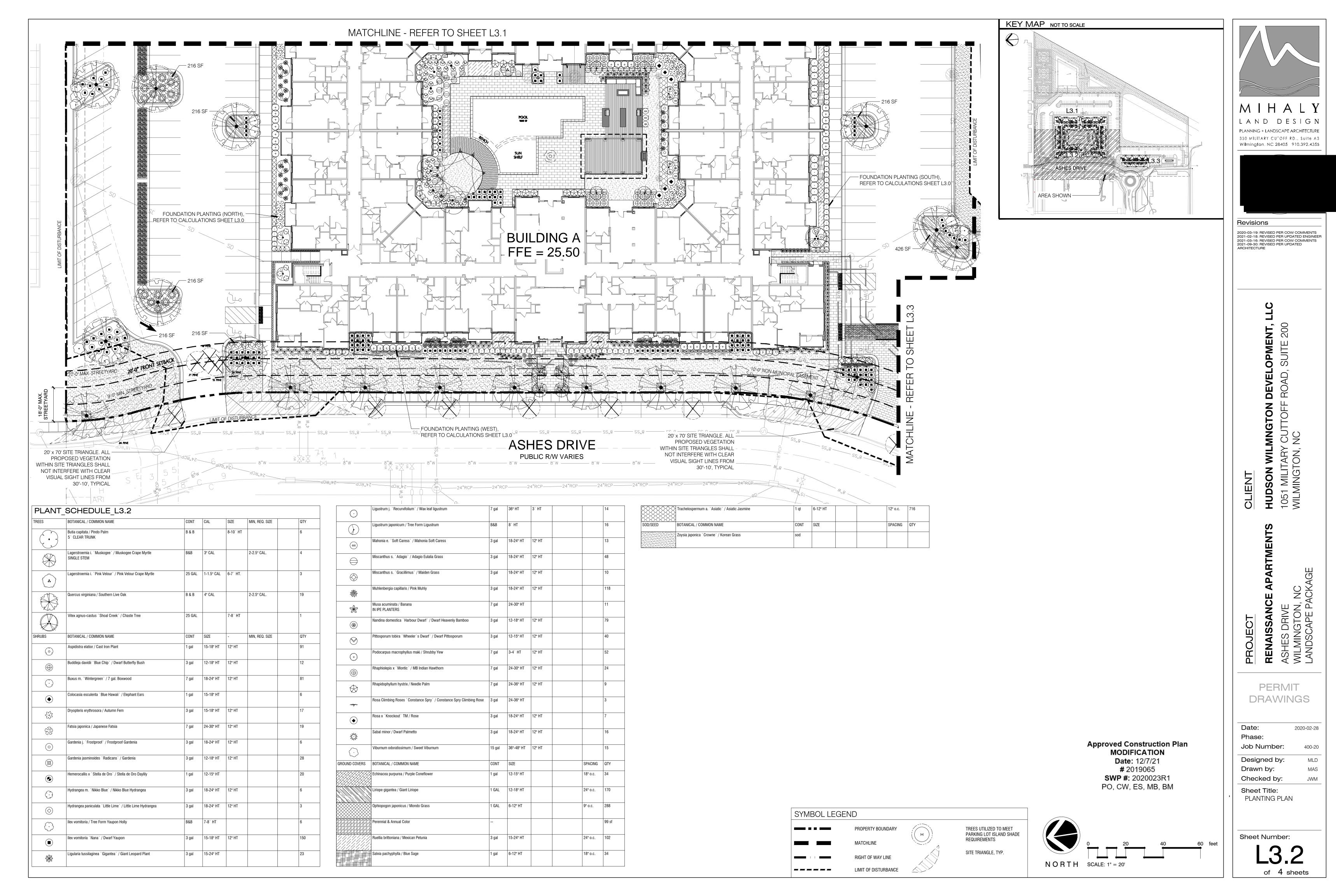
	Nandina domestica `Harbour Dwarf` / Dwarf Heavenly Bamboo	3 gal	12-18" HT	12" HT		90
***	Panicum virgatum / Switch Grass	3 gal	24-30" HT	12" HT		115
+	Podocarpus macrophyllus maki / Shrubby Yew	7 gal	3-4` HT	12" HT		24
	Sabal minor / Dwarf Palmetto	3 gal	18-24" HT	12" HT		29
•	Viburnum odoratissimum / Sweet Viburnum	15 gal	36"-48" HT	12" HT		24
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE		SPACING	QTY
	Liriope gigantea / Giant Liriope	1 GAL	12-18" HT		24" o.c.	284
	Ruellia brittoniana / Mexican Petunia	3 gal	15-24" HT		24" o.c.	46
	Trachelospermum a. `Asiatic` / Asiatic Jasmine	1 qt	6-12" HT		12" o.c.	1,206
XXXXXXXX SOD/SEED	BOTANICAL / COMMON NAME	CONT	SIZE		SPACING	QTY
	Zoysia japonica `Crowne` / Korean Grass	sod				

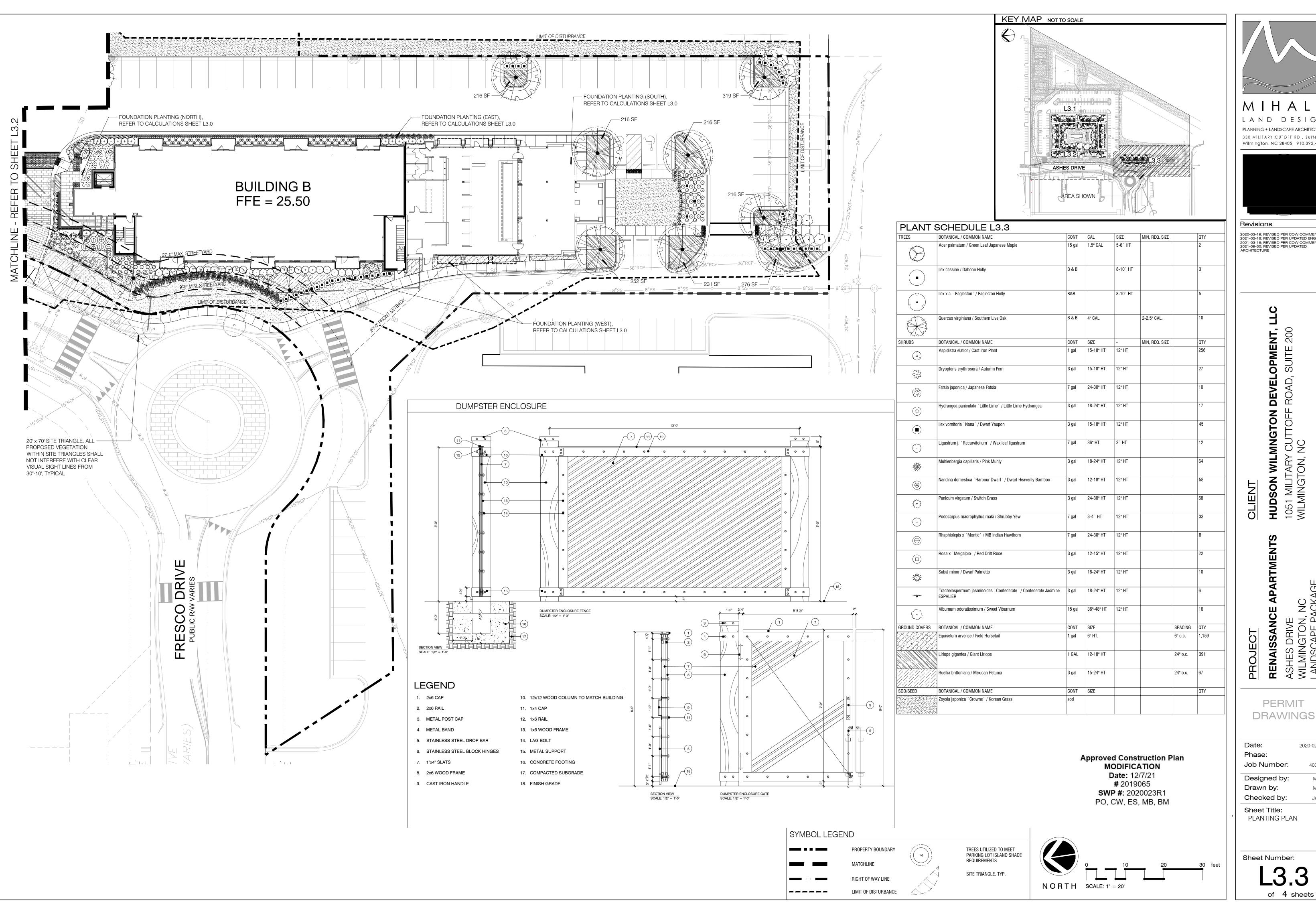
Approved Construction Plan MODIFICATION Date: 12/7/21 # 2019065 **SWP #**: 2020023R1

PO, CW, ES, MB, BM









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I DEVELOPMENT, I F ROAD, SUITE 200 WILMNGTON

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LANDSCAPE PACKAGE

PERMIT

2020-02-28 Job Number:

Designed by: MLD Checked by:

Sheet Title: PLANTING PLAN

Sheet Number: